

## NOTICE OF MEETING

### Proposed Class II Development Permit

**TAKE NOTICE** THAT the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, JUNE 22, 2021 at 6:00 P.M.** via **TELECONFERENCE\*** to consider the following Class II application:

FILE NO. **DP2021-16/DP2021-17**

OWNER/APPLICANT: **LARRY PATTERSON/  
ERIN NAPHOLC MACKIN**

The property municipally and legally described as

**70 HICKORY STREET**

PLAN 86 BLK B LOT 7 GAN R W/S  
TOWN OF GANANOQUE

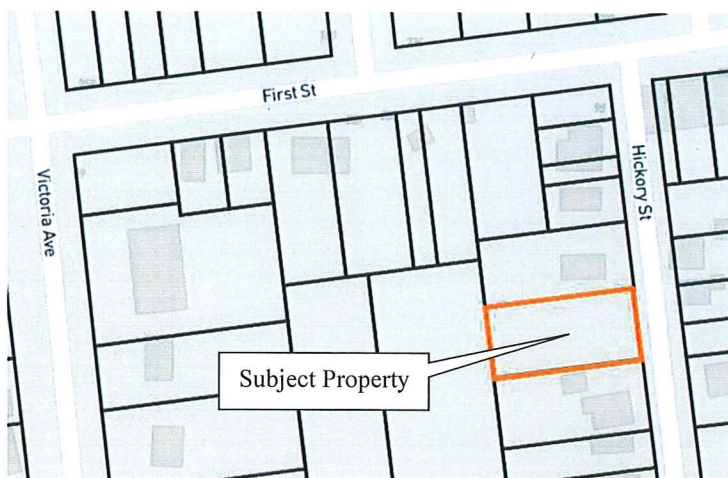
has applied to the Town of Gananoque for a Development Permit to  
**PERMIT A SECONDARY SUITE IN EACH SEMI-DETACHED DWELLING, SUBJECT TO THE  
CONCURRENT APPLICATION FOR CONSENT TO SEVER EACH SEMI-DETACHED UNIT**

\*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** can be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

Additional information in relation to the proposed development permit is available for inspection on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing [assistantplanner@gananoque.ca](mailto:assistantplanner@gananoque.ca) or by calling Chanti Birdi 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.

**Note:** Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the LPAT where the application meets the requirements established through the official plan and development permit bylaw.



**DATED** this 7<sup>th</sup> day of JUNE, 2021

\_\_\_\_\_  
Brenda Guy  
Manager of Planning and Development  
[bguy@gananoque.ca](mailto:bguy@gananoque.ca)  
613 382-2149 Ext.1126

DP2021 - 16  
Building 1

June 04, 2021

Planning Division  
Town of Gananoque  
30 King Street East  
Gananoque Ontario

**Project: 70 Hickory Street**  
**Regarding: Application for Development Permit**

The following submission is regarding the Application for Development Permit for 70 Hickory Street Semi-Detached Residence. This application is being concurrently reviewed with a consent application. The following items are included with the submission:

- Application for Development Permit
- Site Plan – 70 Hickory Street A0
- Floor Plans and Architectural Elevations – RBJ Concepts Inc. – 70 Hickory Street
- Grading and Servicing Plan – Forefront Engineering – 70 Hickory Street

The Subject property is currently zoned residential and no change in use is being requested.

The Semi-Detached Residential dwelling is constructed under building permit 2020-074 issued October 14, 2020. We are requesting a secondary 2-bedroom suite in each Semi-detached residential dwelling (Both Sides). This will have 1 unit consisting of 3-bedrooms on the main and upper floor of the 'Semi' and 1 secondary suite consisting of 2-bedrooms in the basement of the 'Semi'. A total of 4 parking space are provided: 3 surface spaces and 1 internal garage space for each 'Semi'.

We understand that the zoning only allows for 1-bedroom secondary suites. We also understand that the zoning only allows 50% of the front yard to be used as parking area. We would like a minor variance to vary the zoning to allow for 2-bedroom secondary suites and allow for 59% of the front yard to be used as parking area.

It is our opinion that the proposed Application for Development Permit and the minor variance within is desirable and represents good planning.

If you have any questions or concerns please contact me.

Sincerely,

Larry Patterson  
Owner  
(613) 328-2363



DP 20 21 / 16

**APPLICATION FOR DEVELOPMENT PERMIT APPROVAL  
Section 70.2 of the Planning Act, RSO 1990, as amended**

This application form **MUST** be accompanied with all the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

- Complete application form signed including declaration of applicant.
- Copy of the deed of property or offer to purchase and sale
- Two (2) large scale copies of all plans being submitted, two reduced 8.5" x 11" of each plan and one electronic copy in pdf format. Plans are to be in a standard scale format (1:250 1:500)
- Application fee payable to the Town of Gananoque:
  - Class I \$500
  - Class II \$1,500
  - Class III \$1,700
  - Amendment to Class I, Class II or Class III \$700
- Deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of studies for a Class II/Class III
- Copy of the most recent survey of the subject property
- Cataraqui Region Conservation Authority.** Subject to review and a separate cheque payable to the Cataraqui Region Conservation Authority. See fee schedule. Clearance letter will be required by the Town.

**CONTACT INFORMATION**

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

<b>Name of Applicant:</b> Larry Patterson	Complete Address including Postal Code: 870 Queen Street Gananoque ON, K7G 2B6	Phone: <u>613 328 2363</u> Fax: _____ E-mail: <u>Pattersonconstructionkingston@gmail.com</u>
<b>Name of Property Owner</b> (if different than applicant):	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Architect/Designer/Planner: N/A	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Engineer:	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Ontario Land Surveyor:	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____

**Street or Property Address** (if applicable):  
70 Hickory Street, Gananoque

**LEGAL DESCRIPTION**

Lot/Con/Plan: PLAN 86 BLK B LOT 7 GAN R W/S

Frontage: <u>19.663m</u>	Depth: <u>40.838m</u>	Area (sq.m): <u>796sq.m</u>	Area (acres): <u>0.2 acres</u>
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**SUBMISSION REQUIREMENTS**

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

- Site Plan(s)** including scaled accurate measurements of:
- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
  - Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
  - Dimensions and gross floor area of all building and structures to be erected;
  - Existing structures to be retained, removed or relocated;
  - Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
  - Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
  - Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
  - Access driveways including curbing and sidewalks
  - Proposed fire routes and fire route sign locations
  - Dimensions and locations of loading zones, waste receptacles and other storage spaces;
  - Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
  - Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
  - Location, type and size of any other significant features such as fencing, gates and walkways.
- Drainage Plan(s)** including scaled accurate measurements of:
- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;
- Landscape Plan(s)** including scaled accurate measurements of:
- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;
- Site Servicing Plan(s)** including scaled accurate measurements of:
- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.
- Grade Control and Drainage Plan(s)** including scale accurate measurements of:
- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
  - Location of any creeks, ravines or watercourses with elevations and contours;
  - Arrows indicating the proposed direction of flow of all surface water;
  - Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
  - Existing and/or proposed right-of-ways or easements
- Elevation and Cross-Section Plan(s)** including scale accurate measurements of:
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
  - Conceptual design of building;
  - Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
  - Exterior design including character, scale, appearance and design features of the proposed building;
  - Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
  - Photographs of the subject land and abutting streetscape on both side of the street
- Supporting Studies and Reports.** Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

<input type="checkbox"/> Servicing options report	<input type="checkbox"/> Phase I Environmental Study and if investigation as required
<input type="checkbox"/> Hydrogeological Study	<input type="checkbox"/> Noise and/or vibration study
<input type="checkbox"/> Drainage and/or stormwater management report	<input type="checkbox"/> Source Water protection study
<input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area	<input type="checkbox"/> MDS I or II calculation
<input type="checkbox"/> Archaeological Assessment	<input type="checkbox"/> Minimum Separation distance calculation for an industrial use or a waste management facility
<input type="checkbox"/> Influence area study for development in proximity to a waste management facility or industrial use	<input type="checkbox"/> Confirmation of sufficient reserve sewage system capacity and reserve water system capacity
<input type="checkbox"/> Traffic Study	<input type="checkbox"/> Vegetation Inventory and/or Tree Preservation Plan
<input type="checkbox"/> Heritage Resource Assessment	<input type="checkbox"/> Supporting Land Use Planning Report
<input type="checkbox"/> Mine hazard rehabilitation assessment	



<b>Existing Use(s):</b>	<b>Residential</b>
Length of time the existing use of the subject lands have continued:	
Has the property been designated as a Heritage Site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the property presently under a Site Plan Agreement?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act? If yes, provide the file number and the status of the application?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>Proposed Use(s):</b>	<b>Residential</b>
Is the <b>Use</b> permitted or permitted subject to criteria as set out in the development permit by-law and how have the applicable criteria have been addressed? <b>no change in use. Permitted</b>	
<b>Is a variation requested?</b> Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law. A variance is requested to vary the following conditions. 1. Allow for 59% parking within the frontyard area. 2. Allow for 2 bedrooms in the secondary suite	
Abutting Land Use(s):	<b>Residential</b>
Is the Development to be phase?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
What is the anticipated date of construction?	<b>EXISTING BUILDING</b>
Is the land to be divided in the future?	<b>YES</b>
Are there any easements, right-of-ways or restrictive covenants affecting the subject land?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>Plan Details:</b>			
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional
REFER TO SITE PLAN A0	Lot Area:  _____ (sq.m)	Building Coverage:  _____ (%)  _____ (sq.m)	Landscape Coverage:  _____ (%)  _____ (sq.m)
Building Height: <b>8.53m</b>	No. of Storeys: _____	No. of Units: _____	Method of Garbage Storage: _____
Parking Surface: Existing: <u>8 (4 each)</u> Proposed: <u>0</u>	Number of Parking Spaces: Existing: _____ Proposed: _____ Total: _____	Dimensions of Parking Spaces: _____	Number of Accessible Spaces: _____
Loading Spaces: <b>N/A</b>	Number of Loading Spaces: _____	Dimensions of Loading Spaces: _____	Other: _____

<b>Heritage Tourist Inn/Bed and Breakfast:</b>			
Is this an application for a Heritage Tourist Inn? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Number of Guest Rooms: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> Other _____	Is this an application for a Bed and Breakfast? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Number of Guest Rooms: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> Other _____
<b>A Heritage Tourist Inn</b> will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application.			

<b>EXISTING BUILDINGS:</b>		Building 1	Building 2
	Type of Structure	Semi Detached	
	Date Constructed:	June 01, 2021	
	Front Line Setback:	12.00m	
	Rear Lot Line Setback:	14.24m	
	Side Lot Line Setback:	1.86m	
	Side Lot Line Setback:	1.80m	
	Height:	8.53m	
	Dimensions:	14.1m X 15.75m	
	Floor Area:	210m <sup>2</sup>	
<b>PROPOSED BUILDINGS:</b>		Building 1	Building 2
	Type of Structure:	Semi Detached	Semi Detached
	Proposed Date of Construction:	June 01, 2021	June 01, 2021
	Front Line Setback:	12.00m	12.00m
	Rear Lot Line Setback:	14.68m	14.24m
	Side Lot Line Setback:	1.86m	0.00m
	Side Lot Line Setback:	0.00m	1.80m
	Height:	8.53m	8.53m
	Dimensions:	14.1m x 7.88m	14.1m x 7.88m
	Floor Area:	105sq.m	105sq.m
Attached Additional Page, if necessary			

<b>Access:</b>			
<input checked="" type="checkbox"/> Municipal Street	<input type="checkbox"/> Unopen Road Allowance	<input type="checkbox"/> Existing Right-of-way	<input type="checkbox"/> Other _____
Name of Street/Road: <b>Hickory Street</b>			
Entrance Approvals and Permit Number(s): <b>Building Permit 2020-074</b>			
If the application will result in the creation of a new private road, a request for street naming will have to be submitted in conjunction with this application, to be approved by Council.			

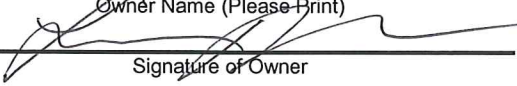
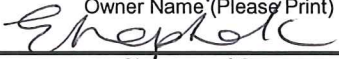
<b>Water Access (where access to the subject land is by water only)</b>			
Docking Facilities (specify)		Parking Facilities (specify)	
distance from subject land _____	distance from nearest public road _____	distance from subject land _____	distance from nearest public road _____

<b>Services:</b>			
<input checked="" type="checkbox"/> Municipal Water and Sewer	<input type="checkbox"/> Municipal Water & Private Sewage	<input type="checkbox"/> Private Well and Municipal Sewage	<input type="checkbox"/> Private Well and Private Sewage
Water and Sewer Hook-up Approvals and Permit Number(s):			



**AUTHORIZATION BY OWNER**

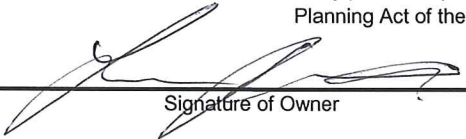
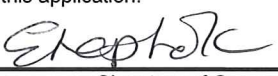
I/We, the undersigned being the owner(s) of the subject land of this application for a consent, hereby authorize \_\_\_\_\_ (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize the Members of Council, Planning Advisory Committee and the Town of Gananoque staff members, to enter upon the property for the purposes of conducting a site inspection with respect to the attached application.

<p><u>Larry Patterson</u> Owner Name (Please Print)</p> <p> Signature of Owner</p> <p>_____ Signature of Witness (not applicant)</p>	<p><u>Erin Naphole</u> Owner Name (Please Print)</p> <p> Signature of Owner</p> <p><u>June 04 / 2021</u> Date</p>
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**CONSENT BY OWNER**

Complete the consent of the owner concerning personal information set out below.

I/We, Larry Patterson / Erin Naphole, am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

<p> Signature of Owner</p> <p>_____ Signature of Witness (not applicant)</p>	<p> Signature of Owner</p> <p><u>June 04 2021</u> Date</p>
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**DECLARATION OF APPLICANT**

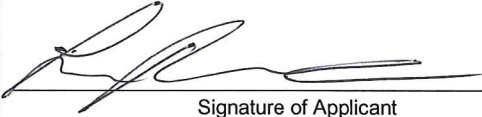
I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the \_\_\_\_\_ of \_\_\_\_\_ solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Furthermore, I, being the applicant of the subject lands, hereby authorize the Members of Council, Planning Advisory Committee and the Town of Gananoque staff members, to enter upon the property for the purpose of conducting a site inspection with respect to the attached application.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<p>_____ Signature of a Commissioner, etc</p>	<p> Signature of Applicant</p>
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<b>Office Use Only:</b>		Roll No: _____
Official Plan Designation: <u>Residential</u>	Development Permit Designation: <u>Residential</u>	Other: <u>DP2021-17</u>
Access (Entrance Permits etc):	Water and Sewer Hookup (Permits etc):	Other:
Other Concurrent Applications: <input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> Condominium Approval <input checked="" type="checkbox"/> Consent/Severance	<input type="checkbox"/> Official Plan Amendment	<input type="checkbox"/> Subdivision Approval
Date Application Received: <u>June 4, 2021</u>	Date Application Deemed Complete: <u>June 3, 2021</u>	Fees Received:

**Peer Review/Consultant Services**

In order to streamline the Town of Gananoque's planning process, peer review services may be contracted out by the Town under the current General Fees and Rates Bylaw. These may include but are not limited to the following:

- |  |                           |
|--|---------------------------|
| Official Plan Amendment                | Sanitary System Design    |
| Condominium Applications               | Site Plan Applications    |
| Consent Applications                   | Subdivision Applications  |
| Environmental Assessment               | Storm Water Management    |
| Minor Variance Applications            | Traffic Studies           |
| Noise Studies                          | Water Distribution System |
| Ontario Municipal Board Representation | Zoning By-law Amendment   |
| Part Lot Control                       | Other Miscellaneous       |

The use of and choice of peer review contract consultants for either planning or engineering on any specific project are subject to the approval of either the Clerk/Manager of Planning and Development or the Director of Public Works, Community Services within their respective areas of jurisdiction.

All costs for the peer review consultants shall be fully paid by the applicant/developer.

Upon approval of the use of a peer review consultant, the applicant/developer shall execute the agreement below with the Town and post a security deposit of \$2,000 (two thousand dollars).

All submissions, correspondence etc. shall be directed to the Manager of Planning and Development, who shall be responsible for distribution.

All invoices from the peer review consultant shall be paid by the Town and subsequently invoiced to the applicant/developer. If payment is not received by the Town within 30 (thirty) days of receipt, then the Town will recover its costs for the security deposit or any other securities which have been posted for the project by the applicant/developer. In that event, the work shall cease on the project and will not commence again until the outstanding invoice has been paid in full, and the securities topped up to their original balance.

The securities will be held by the Town until the component of the project for which they were posted is complete. Authorization for the release of the securities shall be provided to the Treasury Department by either the Clerk or the Manager of Planning and Development, within their respective areas of jurisdiction.

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I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the \_\_\_\_\_  
\_\_\_\_\_ of \_\_\_\_\_ solemnly declare that:

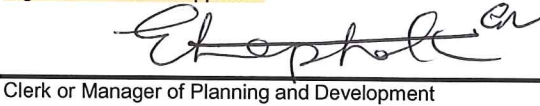
I am aware of the current Town of Gananoque General Fees and Rates for various services provided by the Town.

Furthermore, I accept the Town's peer review process whereby I agree to provide the Town of Gananoque with a deposit in the amount of \$2,000 (two thousand dollars) in order to conduct the necessary peer review(s) in the completion of my planning application. In the event that payment is not received for such peer reviews, the Town may use the deposit to do so or any other securities being held.

  
\_\_\_\_\_  
Print Name – Owner/Applicant

  
\_\_\_\_\_  
Signature – Owner/Applicant

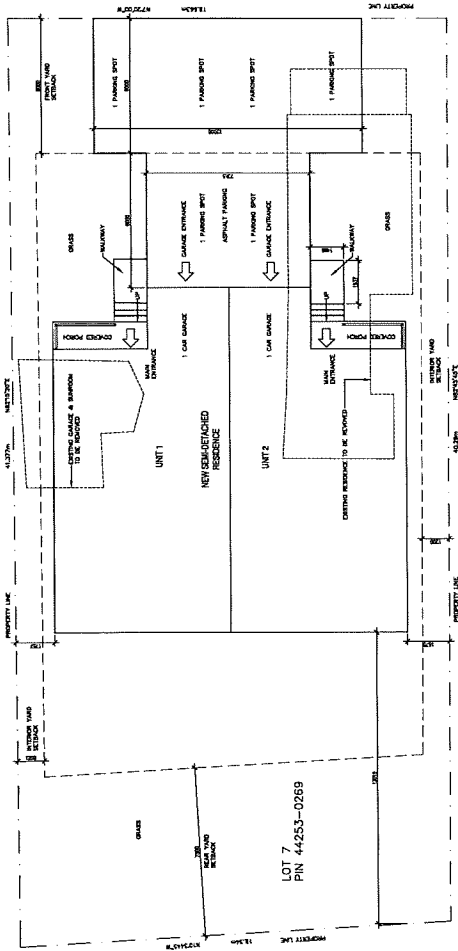
June 4 2021  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Clerk or Manager of Planning and Development



ernest a. cromarty  
inc  
kingston  
ontario

PIN 44253-0270

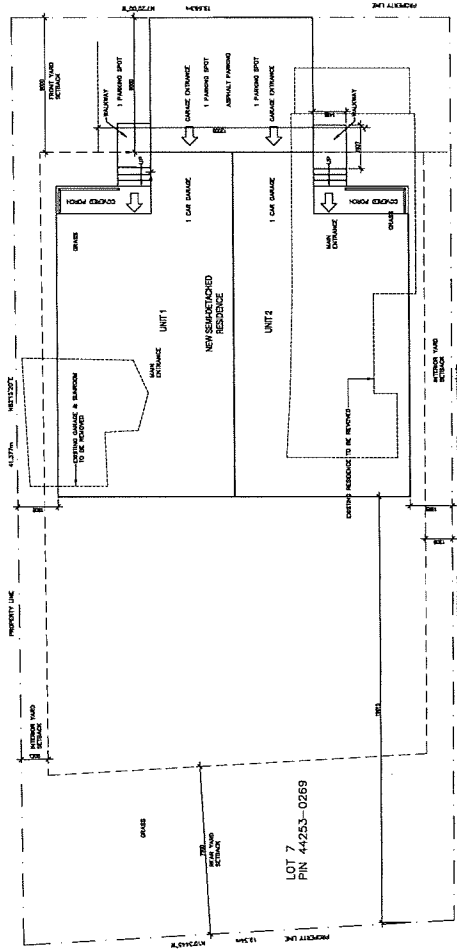


LOT 6  
PIN 44253-0268

1 SITE PLAN  
SCALE 1:100

ZONING	RECEIVED	REVISION	PROPOSED
RESIDENTIAL	4.20 M	8.1 M	8.1 M
REAR YARD (NEW BUILDING)	20.7 M	8.1 M	8.1 M
REAR YARD (EXISTING BUILDING)	7.5 M	8.1 M	8.1 M
LOT AREA (NEW BUILDING)	785.94 SQ.M	795.84 SQ.M	795.84 SQ.M
LOT AREA (EXISTING BUILDING)	334.50 M	334.50 M	334.50 M
LOT COVERAGE (MAXIMUM)	33%	33%	33%

LOT 8  
PIN 44253-0270



LOT 6  
PIN 44253-0268

1 SITE PLAN  
SCALE 1:100

No.	DATE	DESCRIPTION	BY
		REVISIONS	

DETAIL REFERENCE SYMBOL  
 X — detail No. X  
 Y — drawing No. Y



DRAWINGS MUST NOT BE USED FOR CONSTRUCTION UNLESS THE ARCHITECT IS RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

PROJECT:  
NEW SEMI-DETACHED HOUSE

LOCATION:  
70 RICKORY ST. GANANOQUE ON

FOR:  
LARRY PATTERSON

DRAWING:  
SITE PLAN

DWG. BY:	SCALE	DRAWING No.

DATE	DATE
1:1:00	

PROJECT No. 2020-16

A0

**BSJ CONCEPTS INC.**  
 4500 GARDEN ROAD  
 SUITE 100  
 GREENSBORO, NC 27409  
 TEL: 336-852-3333  
 FAX: 336-852-3334  
 WWW.BSJCONCEPTS.COM

BY CONTRACTOR: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MATERIALS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND MATERIALS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

No.	DATE	DESCRIPTION	BY

DETAIL REFERENCE SYMBOL  
 X  
 Y

**DRAWINGS MUST NOT BE SCALED**  
 FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

PROJECT:  
**NEW SEMI-DETACHED HOUSE**

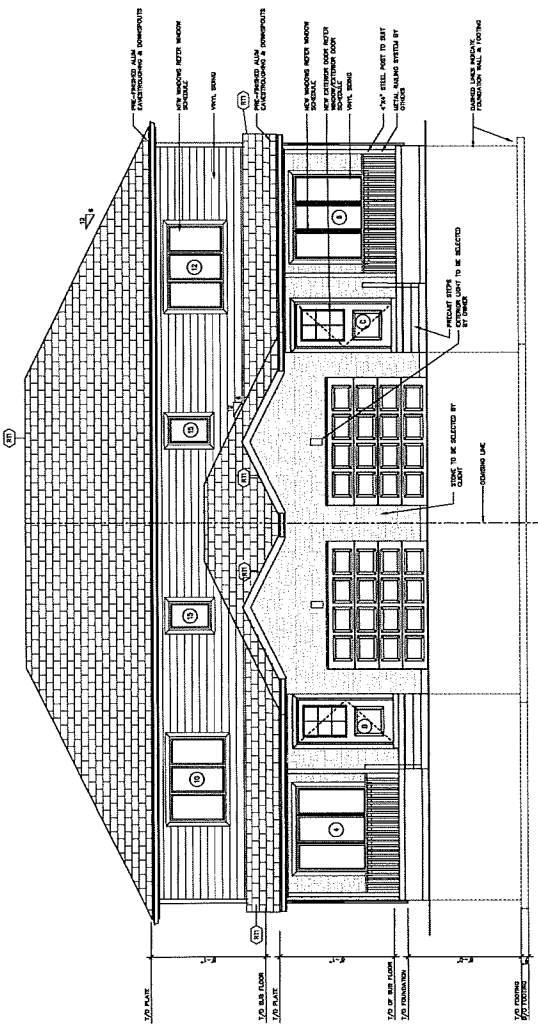
LOCATION:  
 70 HICKORY ST. GANANOCQUE ON

FOR:  
 LARRY PATTERSON

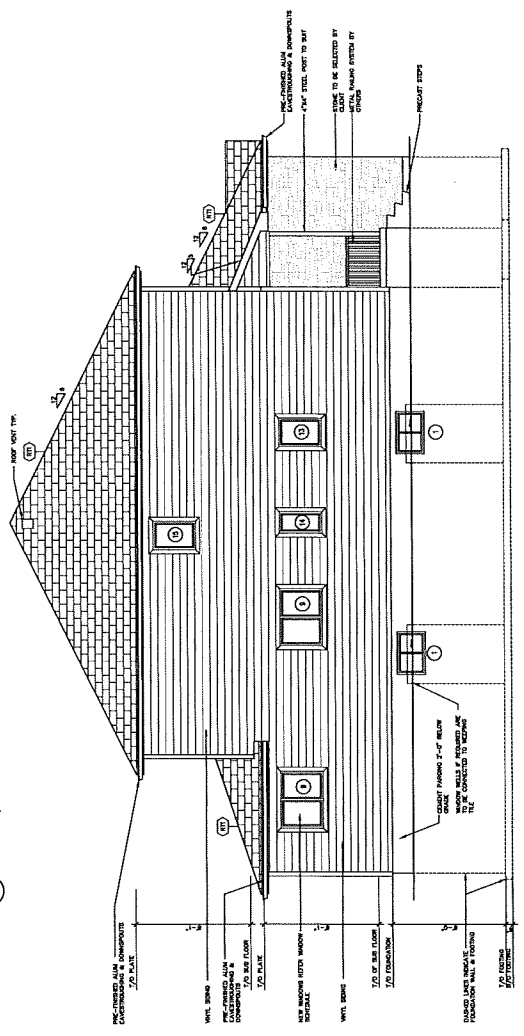
DRAWING:  
 ELEVATIONS

DWG. BY: SCALE: DRAWING No.  
 DATE: 1/4" = 1'-0"  
 DATE: SEPT 2020  
 PROJECT No. 2020-116

**A4**



1  
 FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



2  
 LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"



**BBI CONCEPTS INC.**  
 1100 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 WWW.BBI-CONCEPTS.COM

BY: *[Signature]*

NO.	DATE	DESCRIPTION	BY

REVISIONS

DETAIL REFERENCE SYMBOL  
 X  
 Y

DRAWINGS MUST NOT BE SCALED  
 FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-  
 CREPANCIES TO THE ARCHITECT BEFORE PROCEEDING  
 WITH ANY WORK.

PROJECT:  
**NEW SEMI-DETACHED HOUSE**

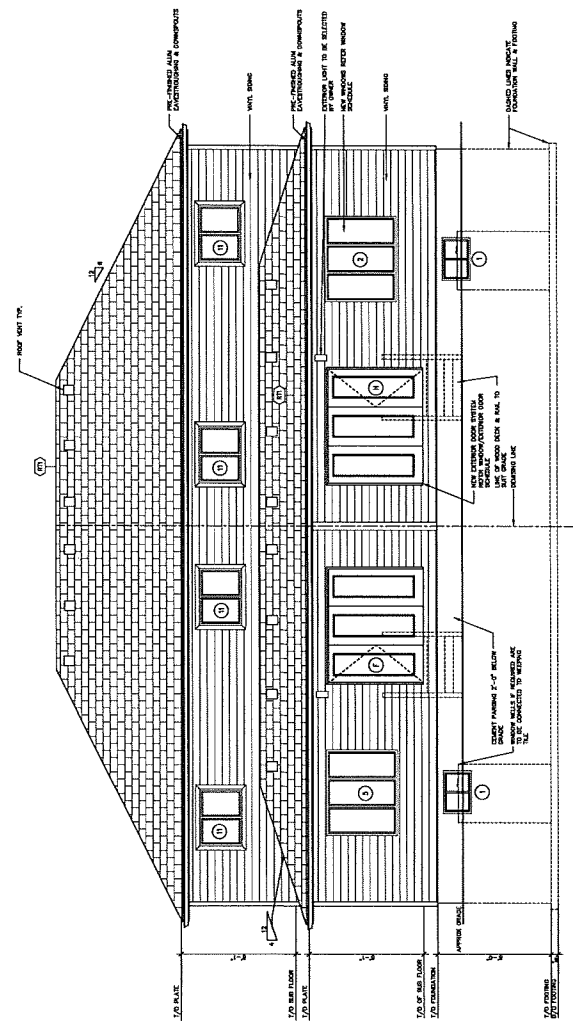
LOCATION:  
 70 HICKORY ST, GAMMOCQUE ON

FOR:  
 LARRY PATTERSON

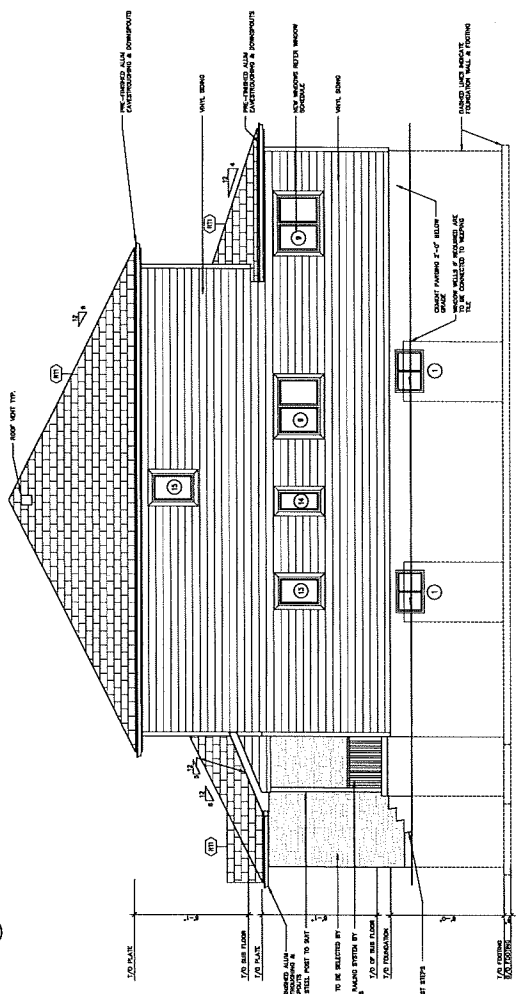
DRAWING:  
 ELEVATIONS

DWG. BY:		SCALE		DRAWING No.	
DATE	1/4" = 1'-0"	SCALE		DWG. NO.	A5
DATE	SEPT 2020				

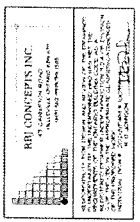
PROJECT No. 2020-16



1 REAR ELEVATION  
 SCALE 1/4" = 1'-0"



2 RIGHT ELEVATION  
 SCALE 1/4" = 1'-0"

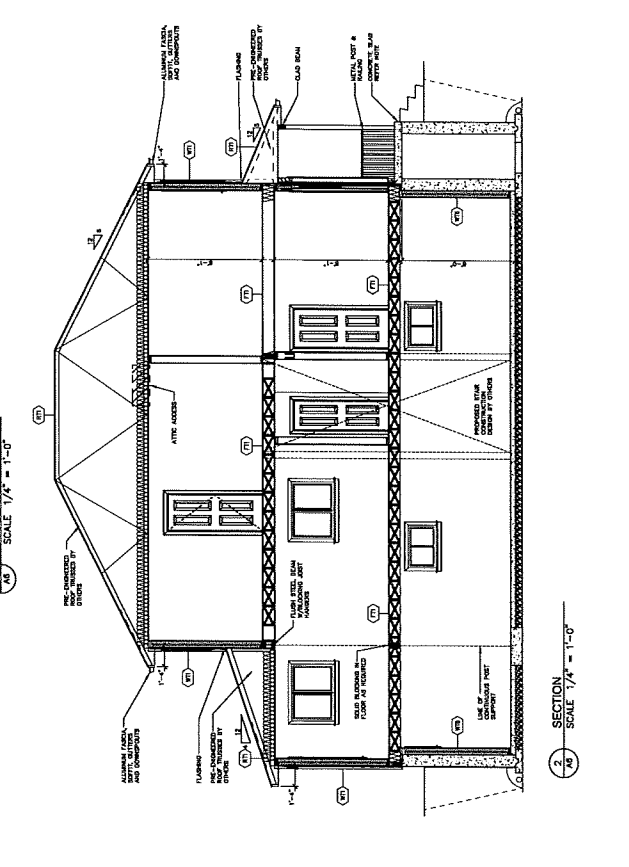
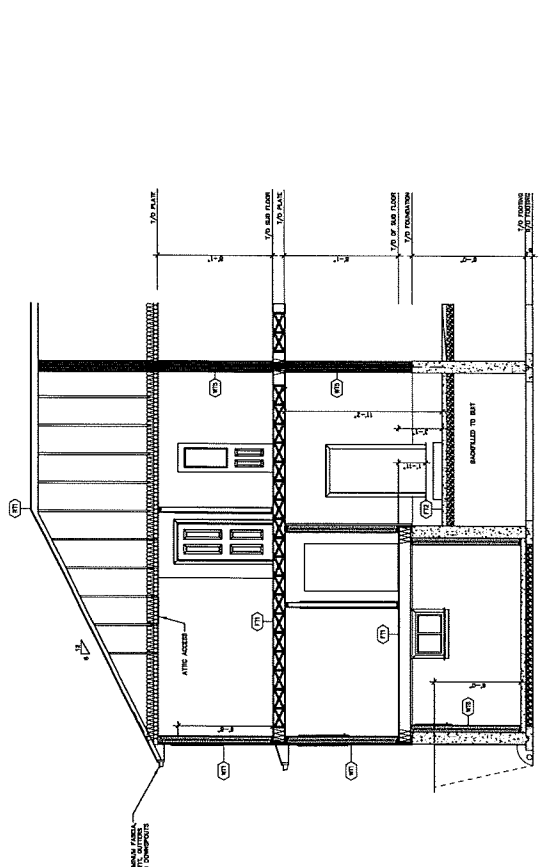
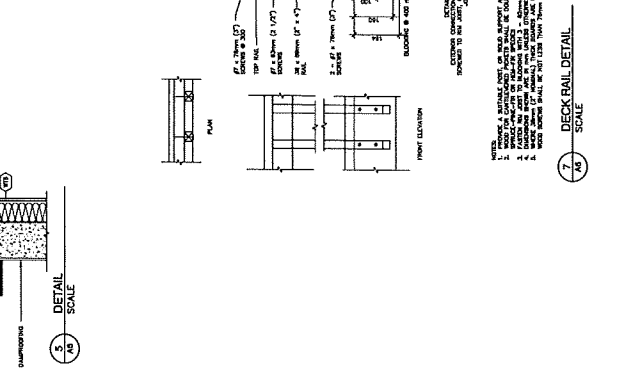
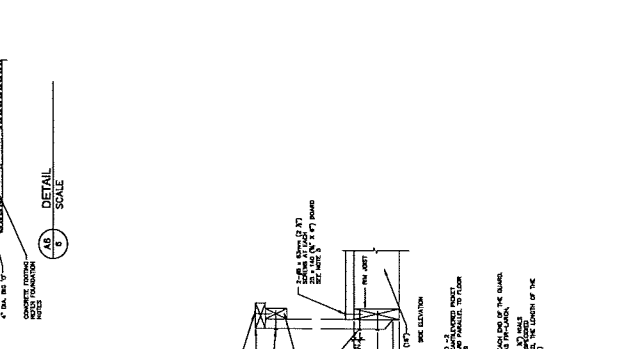
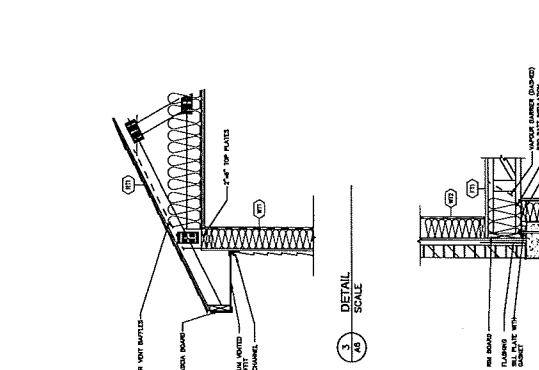
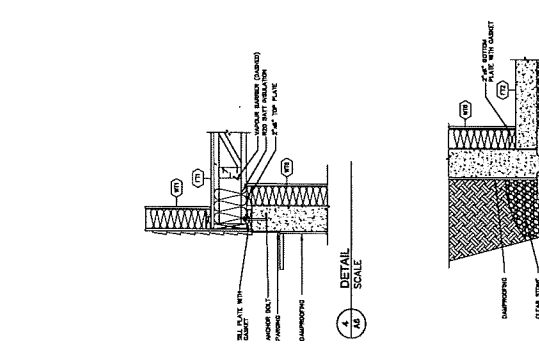


NO.	DATE	DESCRIPTION	BY

DETAIL REFERENCE SYMBOL  
 X detail No. X  
 Y drawing No. Y

PROJECT: NEW SEMI-DETACHED HOUSE  
 LOCATION: 70 HICKORY ST. GANANOQUE ON  
 FOR: LARRY PATTERSON  
 DRAWING: SECTIONS & DETAILS

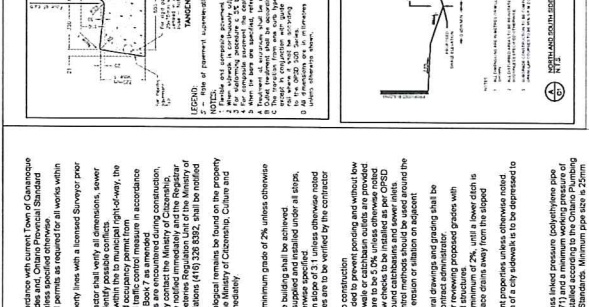
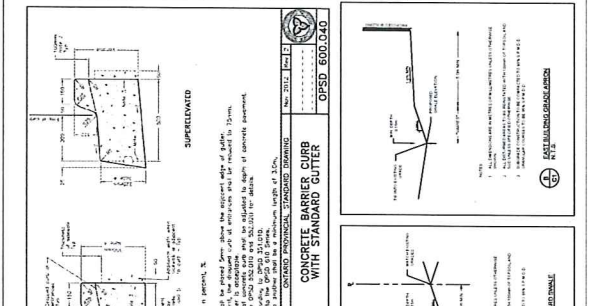
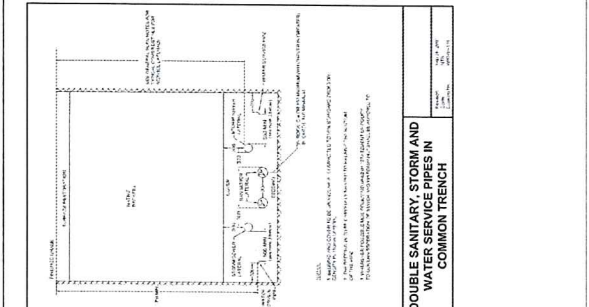
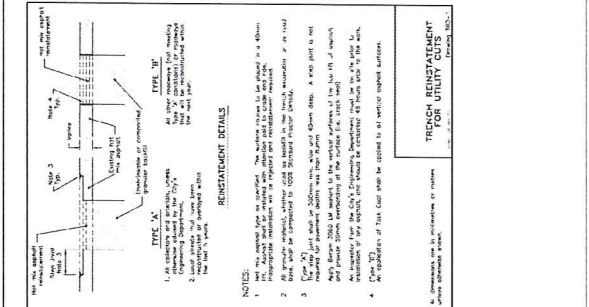
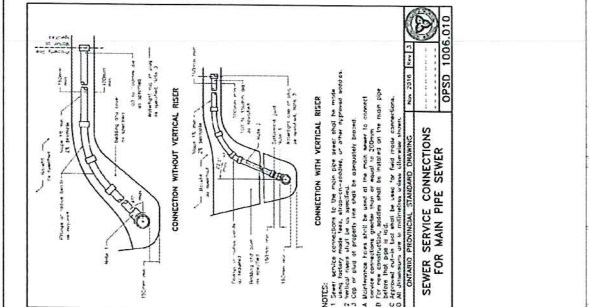
DWG. BY: SCALE DRAWING No.  
 DATE 1/4" = 1'-0"  
 DATE SEPT 2020  
 PROJECT No. 2020-16  
**A6**



NOTES:  
 1. VERIFY ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.  
 2. VERIFY ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.  
 3. VERIFY ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.  
 4. VERIFY ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.



LEGEND	
	ASPHALT
	CONCRETE
	GRASS
	PROPOSED SANITARY
	PROPOSED WATERMAIN
	PROPOSED SEWER
	PROPOSED GAS
	PROPOSED DWG HYDRO
	EXISTING SANITARY
	EXISTING WATER
	EXISTING GAS CABLE
	EXISTING BELL CABLE
	EXISTING UNGD HYDRO
	EXISTING FENCE
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING HYDRANT VALVE
	EXISTING DECIDUOUS CONIFEROUS TREE
	BENCHMARK
	WELL
	EXISTING GRADE
	PROPOSED DOWNSPOUT



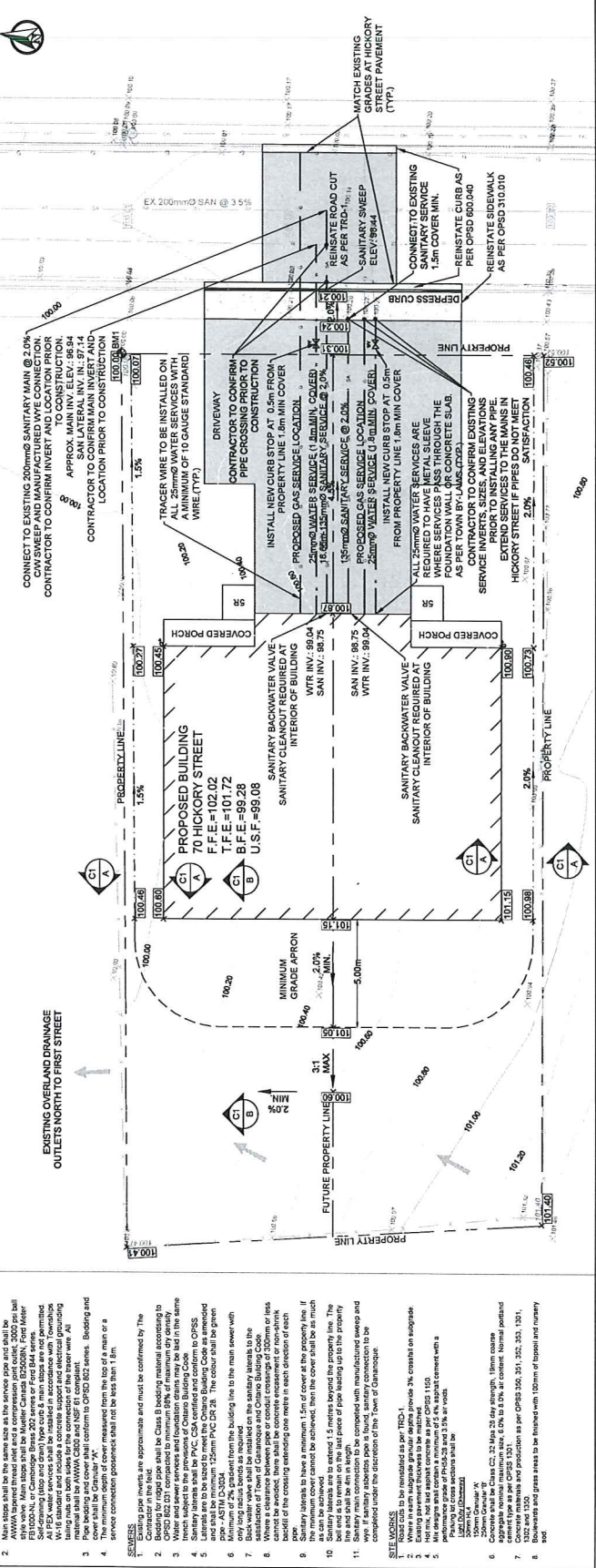
**GENERAL**

1. All work to be installed in accordance with current Town of Chatham-Kent Specifications and Drawings unless otherwise specified.
2. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
3. Prior to construction, the Contractor shall verify all dimensions, sewer inverts and utility locations and identify possible conflicts.
4. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
5. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
6. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
7. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
8. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
9. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.
10. The Contractor shall be responsible for obtaining all necessary permits from the Municipality of Chatham-Kent.

**LARRY PATTERSON**  
Professional Engineer  
No. 12322

**E3 Forefront Engineering Inc.**  
1278 Bowdoin Road, Suite 201  
Chatham, ON N7M 1P8  
905.351.1351

Client:	LARRY PATTERSON
Project:	70 HICKORY STREET
Drawings:	GRADING AND SERVICES PLAN
Scale:	AS SHOWN
Date:	10/26/23



**SITE NOTES**

1. Road cuts to be reinstated as per TRD-1.
2. Existing pavement thickness to be matched.
3. Match the top of asphalt concrete as per OPSD 1105.010.
4. Match the top of concrete as per OPSD 1105.010.
5. Reinstatement grade of 1.5m to 3.5m as noted.

**CONCRETE**

1. Concrete shall be Class C25, 28 Day strength, 19mm coarse aggregate nominal maximum size, 6.0% to 8.0% air content. Normal portland concrete materials and production as per OPSD 350, 351, 352, 353, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000.

## NOTICE OF MEETING Proposed Class II Development Permit

**TAKE NOTICE** THAT the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, JUNE 22, 2021 at 6:00 P.M.** via **TELECONFERENCE\*** to consider the following Class II application:

FILE NO. DP2021-16/DP2021-17

OWNER/APPLICANT: **LARRY PATTERSON/  
ERIN NAPHOLC MACKIN**

The property municipally and legally described as

**70 HICKORY STREET**

PLAN 86 BLK B LOT 7 GAN R W/S  
TOWN OF GANANOQUE

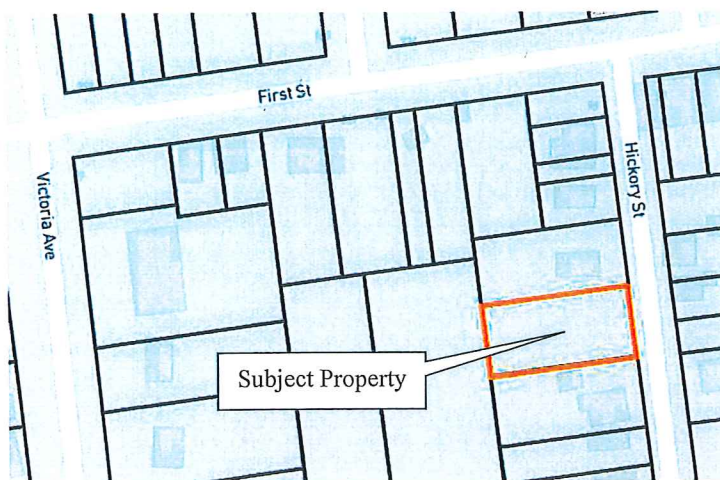
has applied to the Town of Gananoque for a Development Permit to  
**PERMIT A SECONDARY SUITE IN EACH SEMI-DETACHED DWELLING, SUBJECT TO THE  
CONCURRENT APPLICATION FOR CONSENT TO SEVER EACH SEMI-DETACHED UNIT**

\*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** can be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

Additional information in relation to the proposed development permit is available for inspection on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing [assistantplanner@gananoque.ca](mailto:assistantplanner@gananoque.ca) or by calling Chanti Birdi 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.  
**Note:** Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the LPAT where the application meets the requirements established through the official plan and development permit bylaw.

**DATED** this 7<sup>th</sup> day of JUNE, 2021



Brenda Guy  
Manager of Planning and Development  
[bguy@gananoque.ca](mailto:bguy@gananoque.ca)  
613 382-2149 Ext.1126



DP2021 - 17  
Building 2

June 04, 2021

Planning Division  
Town of Gananoque  
30 King Street East  
Gananoque Ontario

**Project: 70 Hickory Street**  
**Regarding: Application for Development Permit**

The following submission is regarding the Application for Development Permit for 70 Hickory Street Semi-Detached Residence. This application is being concurrently reviewed with a consent application. The following items are included with the submission:

- Application for Development Permit
- Site Plan – 70 Hickory Street A0
- Floor Plans and Architectural Elevations – RBJ Concepts Inc. – 70 Hickory Street
- Grading and Servicing Plan – Forefront Engineering – 70 Hickory Street

The Subject property is currently zoned residential and no change in use is being requested.

The Semi-Detached Residential dwelling is constructed under building permit 2020-074 issued October 14, 2020. We are requesting a secondary 2-bedroom suite in each Semi-detached residential dwelling (Both Sides). This will have 1 unit consisting of 3-bedrooms on the main and upper floor of the 'Semi' and 1 secondary suite consisting of 2-bedrooms in the basement of the 'Semi'. A total of 4 parking space are provided: 3 surface spaces and 1 internal garage space for each 'Semi'.

We understand that the zoning only allows for 1-bedroom secondary suites. We also understand that the zoning only allows 50% of the front yard to be used as parking area. We would like a minor variance to vary the zoning to allow for 2-bedroom secondary suites and allow for 59% of the front yard to be used as parking area.

It is our opinion that the proposed Application for Development Permit and the minor variance within is desirable and represents good planning.

If you have any questions or concerns please contact me.

Sincerely,

Larry Patterson  
Owner  
(613) 328-2363



DP 20 21 / 17

**APPLICATION FOR DEVELOPMENT PERMIT APPROVAL  
Section 70.2 of the Planning Act, RSO 1990, as amended**

This application form **MUST** be accompanied with all the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

- Complete application form signed including declaration of applicant.
- Copy of the deed of property or offer to purchase and sale
- Two (2) large scale copies of all plans being submitted, two reduced 8.5" x 11" of each plan and one electronic copy in pdf format. Plans are to be in a standard scale format (1:250 1:500)
- Application fee payable to the Town of Gananoque:
  - Class I \$500
  - Class II \$1,500
  - Class III \$1,700
  - Amendment to Class I, Class II or Class III \$700
- Deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of studies for a Class II/Class III
- Copy of the most recent survey of the subject property
- Cataraqui Region Conservation Authority.** Subject to review and a separate cheque payable to the Cataraqui Region Conservation Authority. See fee schedule. Clearance letter will be required by the Town.

**CONTACT INFORMATION**

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

<b>Name of Applicant:</b> Larry Patterson	Complete Address including Postal Code: 870 Queen Street Gananoque ON, K7G 2B6	Phone: <u>613 328 2363</u> Fax: _____ E-mail: <u>Pattersonconstructionkingston@gmail.com</u>
<b>Name of Property Owner</b> (if different than applicant):	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Architect/Designer/Planner: N/A	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Engineer:	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
Ontario Land Surveyor:	Complete Address including Postal Code:	Phone: _____ Fax: _____ E-mail: _____
<b>Street or Property Address</b> (if applicable): 70 Hickory Street, Gananoque		

**LEGAL DESCRIPTION**

Lot/Con/Plan: <u>PLAN 86 BLK B LOT 7 GAN R W/S</u>			
Frontage: <u>19.663m</u>	Depth: <u>40.838m</u>	Area (sq.m): <u>796sq.m</u>	Area (acres): <u>0.2 acres</u>



**SUBMISSION REQUIREMENTS**

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

- Site Plan(s)** including scaled accurate measurements of:
  - Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
  - Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
  - Dimensions and gross floor area of all building and structures to be erected;
  - Existing structures to be retained, removed or relocated;
  - Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
  - Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
  - Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
  - Access driveways including curbing and sidewalks
  - Proposed fire routes and fire route sign locations
  - Dimensions and locations of loading zones, waste receptacles and other storage spaces;
  - Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
  - Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
  - Location, type and size of any other significant features such as fencing, gates and walkways.
- Drainage Plan(s)** including scaled accurate measurements of:
  - Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;
- Landscape Plan(s)** including scaled accurate measurements of:
  - Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;
- Site Servicing Plan(s)** including scaled accurate measurements of:
  - Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.
- Grade Control and Drainage Plan(s)** including scale accurate measurements of:
  - Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
  - Location of any creeks, ravines or watercourses with elevations and contours;
  - Arrows indicating the proposed direction of flow of all surface water;
  - Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
  - Existing and/or proposed right-of-ways or easements
- Elevation and Cross-Section Plan(s)** including scale accurate measurements of:
  - Drawings that show plan, elevations and cross section views for each building or structure to be erected;
  - Conceptual design of building;
  - Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
  - Exterior design including character, scale, appearance and design features of the proposed building;
  - Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
  - Photographs of the subject land and abutting streetscape on both side of the street
- Supporting Studies and Reports.** Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

<input type="checkbox"/> Servicing options report	<input type="checkbox"/> Phase I Environmental Study and if investigation as required
<input type="checkbox"/> Hydrogeological Study	<input type="checkbox"/> Noise and/or vibration study
<input type="checkbox"/> Drainage and/or stormwater management report	<input type="checkbox"/> Source Water protection study
<input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area	<input type="checkbox"/> MDS I or II calculation
<input type="checkbox"/> Archaeological Assessment	<input type="checkbox"/> Minimum Separation distance calculation for an industrial use or a waste management facility
<input type="checkbox"/> Influence area study for development in proximity to a waste management facility or industrial use	<input type="checkbox"/> Confirmation of sufficient reserve sewage system capacity and reserve water system capacity
<input type="checkbox"/> Traffic Study	<input type="checkbox"/> Vegetation Inventory and/or Tree Preservation Plan
<input type="checkbox"/> Heritage Resource Assessment	<input type="checkbox"/> Supporting Land Use Planning Report
<input type="checkbox"/> Mine hazard rehabilitation assessment	

<b>Existing Use(s):</b>	<b>Residential</b>
Length of time the existing use of the subject lands have continued: _____	
Has the property been designated as a Heritage Site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the property presently under a Site Plan Agreement?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act? If yes, provide the file number and the status of the application?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>Proposed Use(s):</b>	<b>Residential</b>
Is the <b>Use</b> permitted or permitted subject to criteria as set out in the development permit by-law and how have the applicable criteria have been addressed? <b>no change in use. Permitted</b>	
Is a variation requested? Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law. A variance is requested to vary the following conditions. 1. Allow for 59% parking within the frontyard area. 2. Allow for 2 bedrooms in the secondary suite	
Abutting Land Use(s):	<b>Residential</b>
Is the Development to be phase?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
What is the anticipated date of construction?	<b>EXISTING BUILDING</b>
Is the land to be divided in the future?	<b>YES</b>
Are there any easements, right-of-ways or restrictive covenants affecting the subject land?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>Plan Details:</b>			
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional
REFER TO SITE PLAN A0	Lot Area: _____ (sq.m)	Building Coverage: _____ (%) _____ (sq.m)	Landscape Coverage: _____ (%) _____ (sq.m)
Building Height: <b>8.53m</b>	No. of Storeys: _____	No. of Units: _____	Method of Garbage Storage: _____
Parking Surface: Existing: <u>8 (4 each)</u> Proposed: <u>0</u>	Number of Parking Spaces: Existing: _____ Proposed: _____ Total: _____	Dimensions of Parking Spaces: _____	Number of Accessible Spaces: _____
Loading Spaces: <b>N/A</b>	Number of Loading Spaces: _____	Dimensions of Loading Spaces: _____	Other: _____

<b>Heritage Tourist Inn/Bed and Breakfast:</b>			
Is this an application for a Heritage Tourist Inn? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Number of Guest Rooms: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> Other _____	Is this an application for a Bed and Breakfast? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Number of Guest Rooms: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> Other _____
<b>A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application.</b>			



<b>EXISTING BUILDINGS:</b>		Building 1	Building 2
	Type of Structure	Semi Detached	
	Date Constructed:	June 01, 2021	
	Front Line Setback:	12.00m	
	Rear Lot Line Setback:	14.24m	
	Side Lot Line Setback:	1.86m	
	Side Lot Line Setback:	1.80m	
	Height:	8.53m	
	Dimensions:	14.1m X 15.75m	
	Floor Area:	210m <sup>2</sup>	
<b>PROPOSED BUILDINGS:</b>		Building 1	Building 2
	Type of Structure:	Semi Detached	Semi Detached
	Proposed Date of Construction:	June 01, 2021	June 01, 2021
	Front Line Setback:	12.00m	12.00m
	Rear Lot Line Setback:	14.68m	14.24m
	Side Lot Line Setback:	1.86m	0.00m
	Side Lot Line Setback:	0.00m	1.80m
	Height:	8.53m	8.53m
	Dimensions:	14.1m x 7.88m	14.1m x 7.88m
	Floor Area:	105sq.m	105sq.m
Attached Additional Page, if necessary			

**Access:**

<input checked="" type="checkbox"/> Municipal Street	<input type="checkbox"/> Unopen Road Allowance	<input type="checkbox"/> Existing Right-of-way	<input type="checkbox"/> Other _____
--	--	--	--------------------------------------

Name of Street/Road: **Hickory Street**

Entrance Approvals and Permit Number(s): **Building Permit 2020-074**

If the application will result in the creation of a new private road, a request for street naming will have to be submitted in conjunction with this application, to be approved by Council.

**Water Access** (where access to the subject land is by water only)

Docking Facilities (specify)	Parking Facilities (specify)
distance from subject land _____	distance from subject land _____
distance from nearest public road _____	distance from nearest public road _____

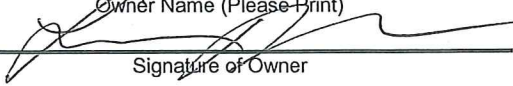
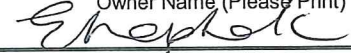
**Services:**

<input checked="" type="checkbox"/> Municipal Water and Sewer	<input type="checkbox"/> Municipal Water & Private Sewage	<input type="checkbox"/> Private Well and Municipal Sewage	<input type="checkbox"/> Private Well and Private Sewage
---	---	--	--

Water and Sewer Hook-up Approvals and Permit Number(s):

**AUTHORIZATION BY OWNER**

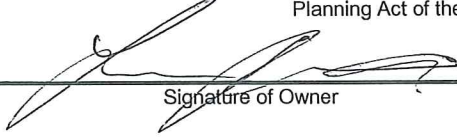

I/We, the undersigned being the owner(s) of the subject land of this application for a consent, hereby authorize \_\_\_\_\_ (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize the Members of Council, Planning Advisory Committee and the Town of Gananoque staff members, to enter upon the property for the purposes of conducting a site inspection with respect to the attached application.

<p><u>Larry Patterson</u> Owner Name (Please Print)</p> <p> Signature of Owner</p> <p>_____ Signature of Witness (not applicant)</p>	<p><u>Erin Naphole</u> Owner Name (Please Print)</p> <p> Signature of Owner</p> <p><u>June 04 / 2021</u> Date</p>
---	---

**CONSENT BY OWNER**

Complete the consent of the owner concerning personal information set out below.

I/We, Larry Patterson / Erin Naphole, am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

<p> Signature of Owner</p> <p>_____ Signature of Witness (not applicant)</p>	<p> Signature of Owner</p> <p><u>June 04 2021</u> Date</p>
---	--

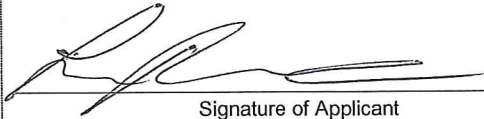
**DECLARATION OF APPLICANT**

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the \_\_\_\_\_ of \_\_\_\_\_ solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Furthermore, I, being the applicant of the subject lands, hereby authorize the Members of Council, Planning Advisory Committee and the Town of Gananoque staff members, to enter upon the property for the purpose of conducting a site inspection with respect to the attached application.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

<p>Declared/Sworn before me at _____ this _____ day of _____, 20____.</p> <p>_____ Signature of a Commissioner, etc</p>	<p> Signature of Applicant</p>
---	--

<b>Office Use Only:</b>		Roll No: _____
Official Plan Designation: <u>Residential</u>	Development Permit Designation: <u>Residential</u>	Other: <u>DP 2021-16</u>
Access (Entrance Permits etc):	Water and Sewer Hookup (Permits etc):	Other:
Other Concurrent Applications: <input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> Condominium Approval <input checked="" type="checkbox"/> Consent/Severance	<input type="checkbox"/> Official Plan Amendment	<input type="checkbox"/> Subdivision Approval
Date Application Received: <u>June 4, 2021</u>	Date Application Deemed Complete: <u>June 3, 2021</u>	Fees Received:



**Peer Review/Consultant Services**

In order to streamline the Town of Gananoque's planning process, peer review services may be contracted out by the Town under the current General Fees and Rates Bylaw. These may include but are not limited to the following:

- |  |                           |
|--|---------------------------|
| Official Plan Amendment                | Sanitary System Design    |
| Condominium Applications               | Site Plan Applications    |
| Consent Applications                   | Subdivision Applications  |
| Environmental Assessment               | Storm Water Management    |
| Minor Variance Applications            | Traffic Studies           |
| Noise Studies                          | Water Distribution System |
| Ontario Municipal Board Representation | Zoning By-law Amendment   |
| Part Lot Control                       | Other Miscellaneous       |

The use of and choice of peer review contract consultants for either planning or engineering on any specific project are subject to the approval of either the Clerk/Manager of Planning and Development or the Director of Public Works, Community Services within their respective areas of jurisdiction.

All costs for the peer review consultants shall be fully paid by the applicant/developer.

Upon approval of the use of a peer review consultant, the applicant/developer shall execute the agreement below with the Town and post a security deposit of \$2,000 (two thousand dollars).

All submissions, correspondence etc. shall be directed to the Manager of Planning and Development, who shall be responsible for distribution.

All invoices from the peer review consultant shall be paid by the Town and subsequently invoiced to the applicant/developer. If payment is not received by the Town within 30 (thirty) days of receipt, then the Town will recover its costs for the security deposit or any other securities which have been posted for the project by the applicant/developer. In that event, the work shall cease on the project and will not commence again until the outstanding invoice has been paid in full, and the securities topped up to their original balance.

The securities will be held by the Town until the component of the project for which they were posted is complete. Authorization for the release of the securities shall be provided to the Treasury Department by either the Clerk or the Manager of Planning and Development, within their respective areas of jurisdiction.

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the \_\_\_\_\_

\_\_\_\_\_ of \_\_\_\_\_ solemnly declare that:

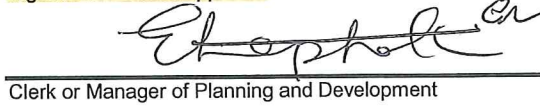
I am aware of the current Town of Gananoque General Fees and Rates for various services provided by the Town.

Furthermore, I accept the Town's peer review process whereby I agree to provide the Town of Gananoque with a deposit in the amount of \$2,000 (two thousand dollars) in order to conduct the necessary peer review(s) in the completion of my planning application. In the event that payment is not received for such peer reviews, the Town may use the deposit to do so or any other securities being held.

  
\_\_\_\_\_  
Print Name – Owner/Applicant

  
\_\_\_\_\_  
Signature – Owner/Applicant

June 4 2021  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Clerk or Manager of Planning and Development

ernest a. cromarty  
inc  
architects  
kingston  
ontario

NO.	DATE	DESCRIPTION	BY

DETAIL REFERENCE SYMBOL  
 X  
 Y  
 detail No. X  
 drawing No. Y



DRAWINGS MUST NOT BE SCALED  
 CONTRACTOR SHALL VERIFY AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING  
 WITH ANY WORK.

PROJECT:  
 NEW SEMI-DETACHED HOUSE

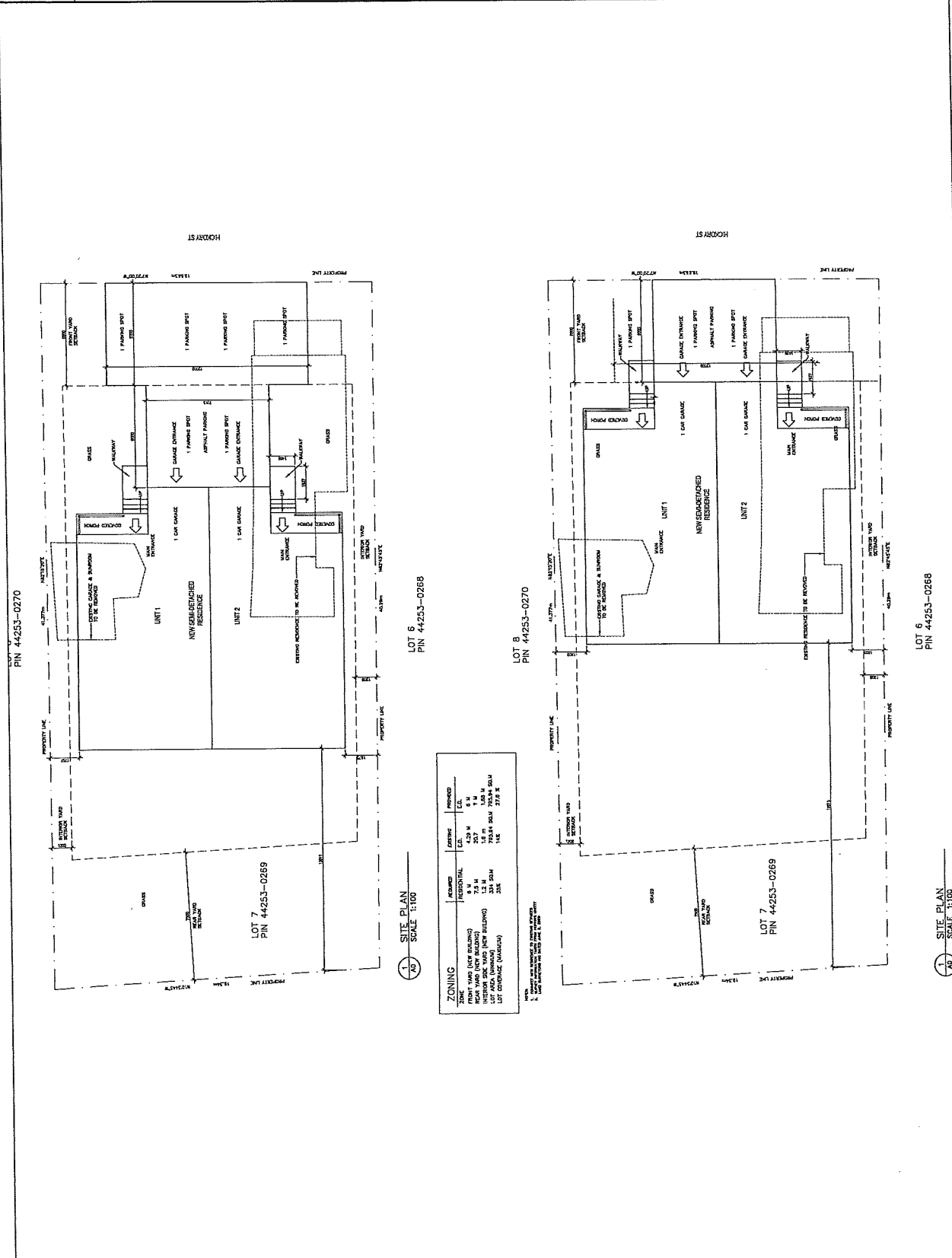
LOCATION:  
 70 HICKORY ST. CANANIQUE ON  
 FOR:  
 LARRY PATTERSON

DRAWING:  
 SITE PLAN

DWG. BY:	SCALE	DRAWING NO.
DATE	DATE	DATE
1:1:00	1:1:00	1:1:00
DEC. 2019	SEPT. 2020	SEPT. 2020
NO.		
SPEC.		

PROJECT No. 2020-16

A0



LOT 6  
 PIN 44253-0288

LOT 8  
 PIN 44253-0270

1 A0 SITE PLAN  
 SCALE 1:100

1 A0 SITE PLAN  
 SCALE 1:100

ZONING	REAR YARD	ENTIRE	FRONT YARD

**RB CONCEPTS INC.**  
 AN ARCHITECTURAL FIRM  
 1111 15th Street, Suite 200  
 Denver, CO 80202  
 Tel: 303.733.1111  
 Fax: 303.733.1112  
 www.rbconcepts.com

No.	DATE	DESCRIPTION	BY

DETAIL REFERENCE SYMBOL  
 detail No. X  
 drawing No. Y

CRANKAGES MUST NOT BE SCALED  
 CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE  
 FOR ALL DIMENSIONS AND MATERIALS  
 CRANKAGES TO BE ADJUSTED BEFORE PROCEEDING  
 WITH ANY WORK.

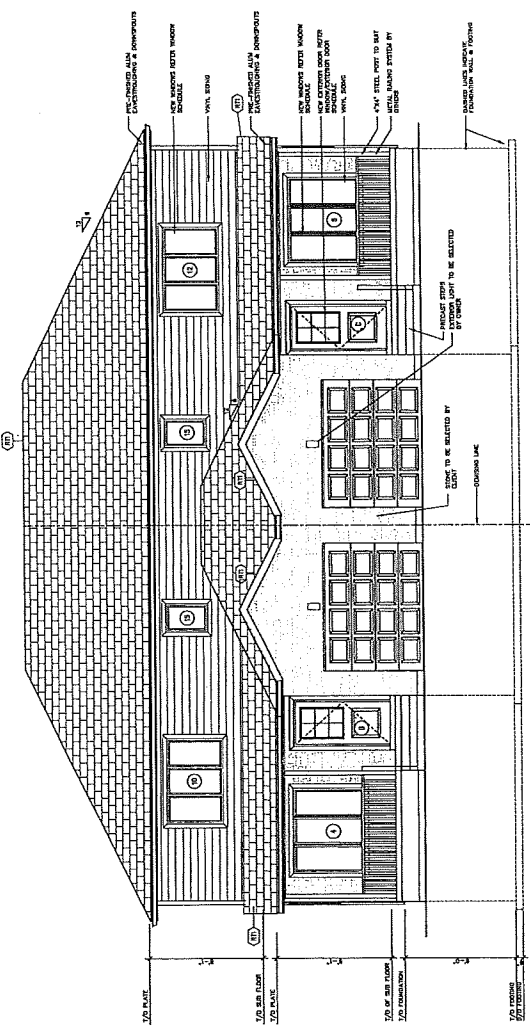
PROJECT:  
**NEW SEMI-DETACHED HOUSE**

LOCATION:  
 70 HICKORY ST, GANANOQUE ON

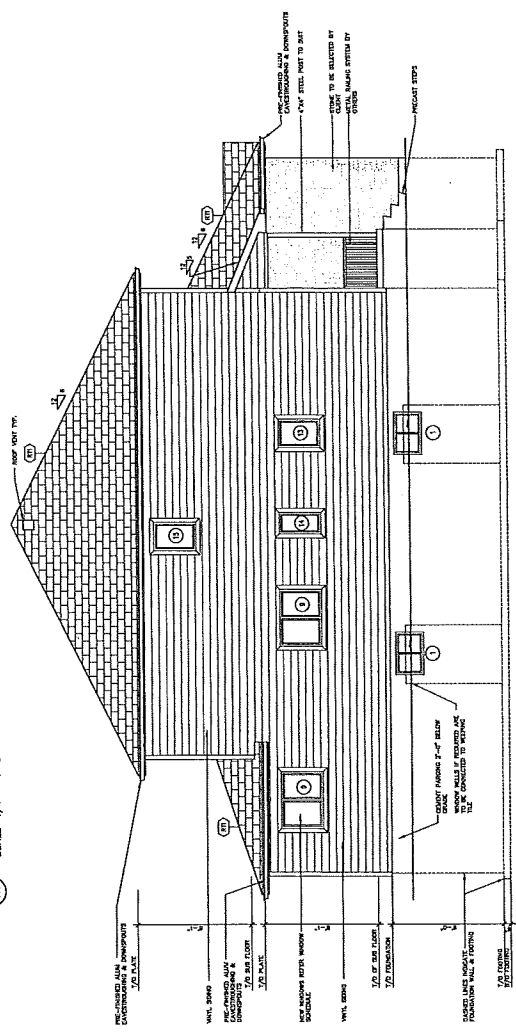
DESIGNER:  
 LARRY PATTERSON

DRAWING:  
**ELEVATIONS**

DWG. BY: SCALE DRAWING No.  
 DATE: 1/4" = 1'-0"  
 DATE: SEPT 2020  
 SHEET: **A4**  
 PROJECT No. 2020-16



1 FRONT ELEVATION  
 SCALE 1/4" = 1'-0"



2 LEFT ELEVATION  
 SCALE 1/4" = 1'-0"

**RJB CONCRETS INC.**  
 45 GARDNER ROAD, SUITE 100  
 WILMINGTON, DE 19804  
 TEL: 302-439-1111  
 FAX: 302-439-1112  
 WWW.RJB-CONCRETS.COM

PROFESSIONAL ARCHITECTURAL AND ENGINEERING FIRM  
 REGISTERED ARCHITECTS AND ENGINEERS  
 STATE OF DELAWARE  
 ARCHITECTS: JAMES R. JAMESON, ARCHITECT  
 ENGINEERS: JAMES R. JAMESON, ENGINEER

NO.	DATE	DESCRIPTION	BY

REVISIONS  
 DETAIL REFERENCE SYMBOL:  
 detail No. X  
 drawing No. Y

DRAWINGS MUST NOT BE SCALED  
 CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE  
 FOR ALL DIMENSIONS AND CONDITIONS  
 SPECIALLY TO THE ARCHITECT BEFORE PROCEEDING  
 WITH ANY WORK.

PROJECT:  
**NEW SEMI-DETACHED HOUSE**

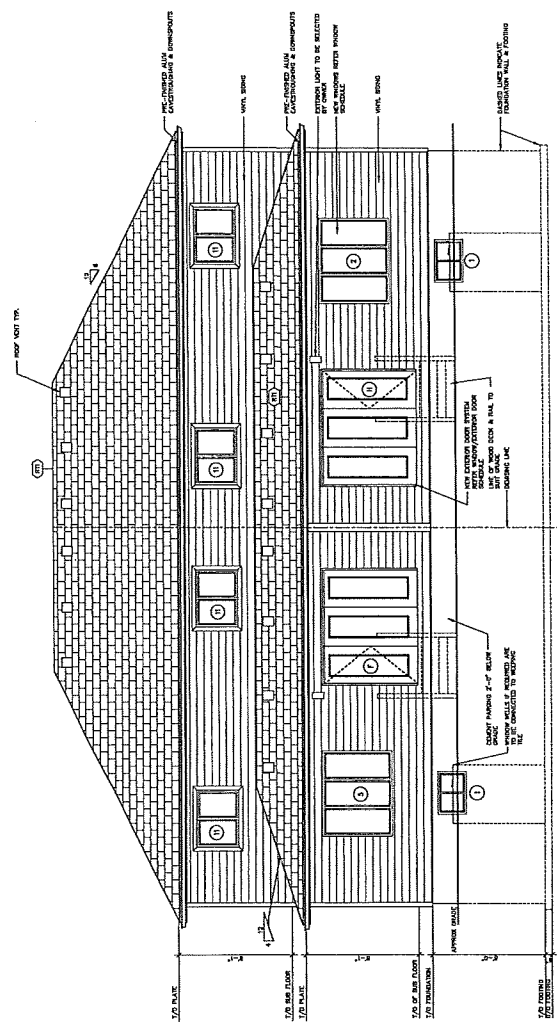
LOCATION:  
 70 HICKORY ST. CANAQUOE ON

FOR:  
 LARRY PATTERSON

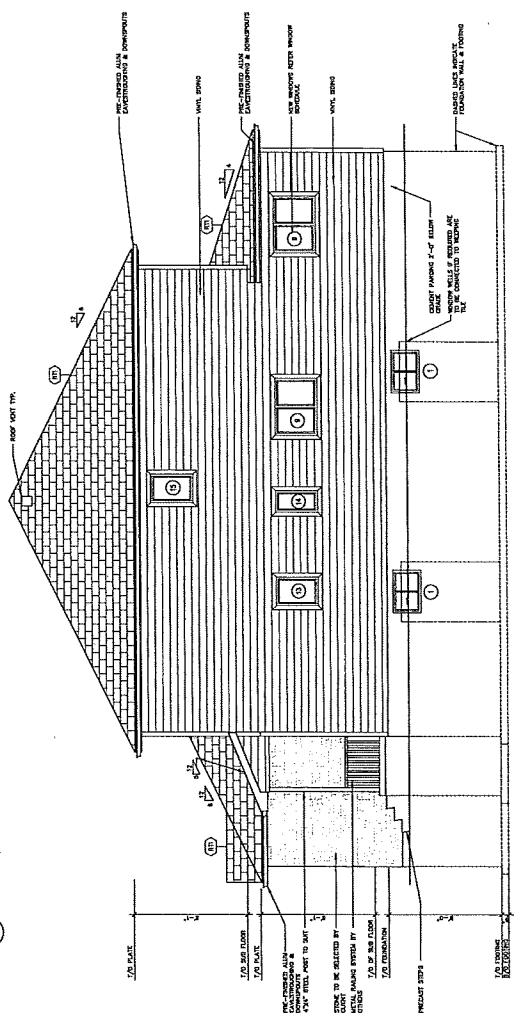
DRAWING:  
 ELEVATIONS

DWG. BY:		SCALE	DRAWING No.

PROJECT No. 2020-16



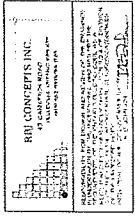
1 REAR ELEVATION  
 SCALE 1/4" = 1'-0"



2 RIGHT ELEVATION  
 SCALE 1/4" = 1'-0"

A5





No.	DATE	DESCRIPTION	BY

DETAIL REFERENCE SYMBOL  
 detail No. X  
 drawing No. Y

DRAWINGS MUST NOT BE SCALED  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

PROJECT:  
**NEW SEMI-DETACHED HOUSE**

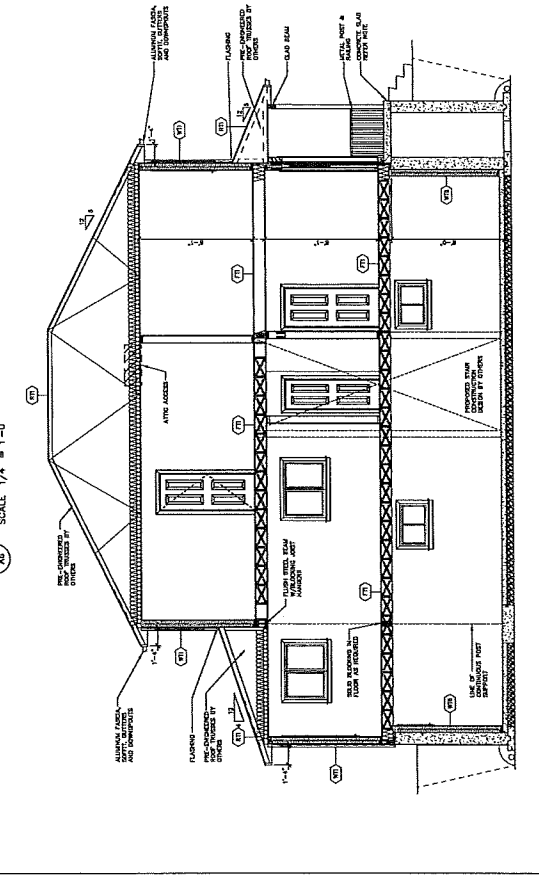
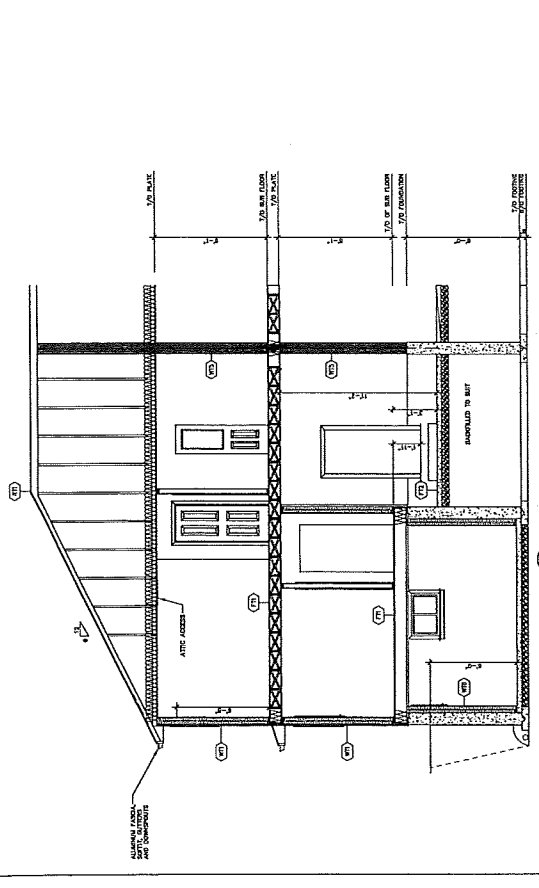
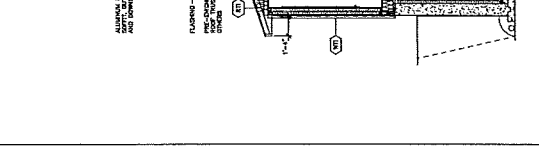
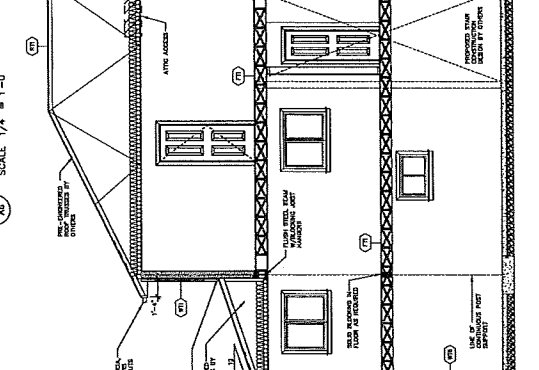
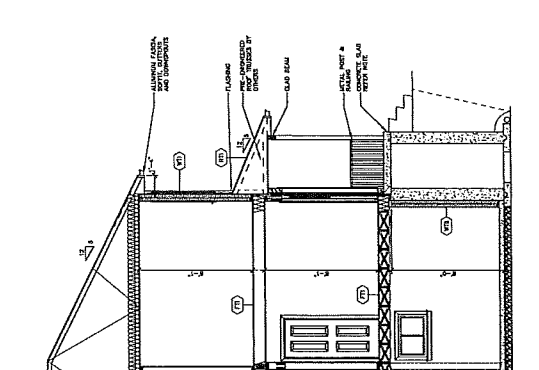
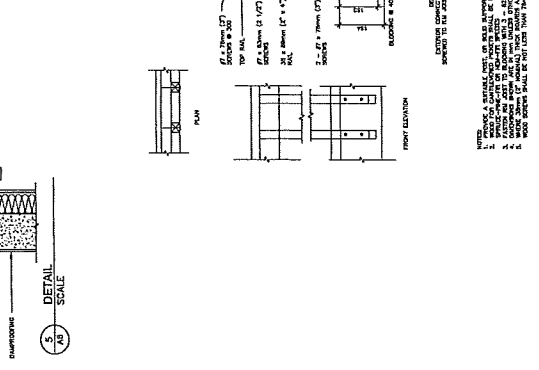
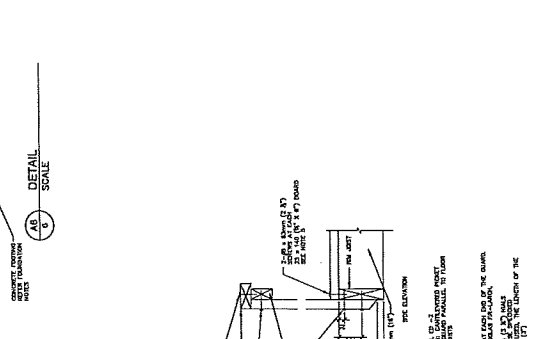
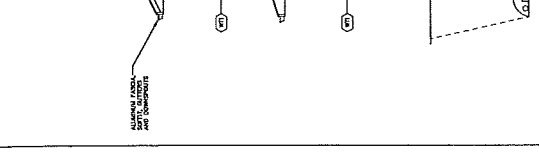
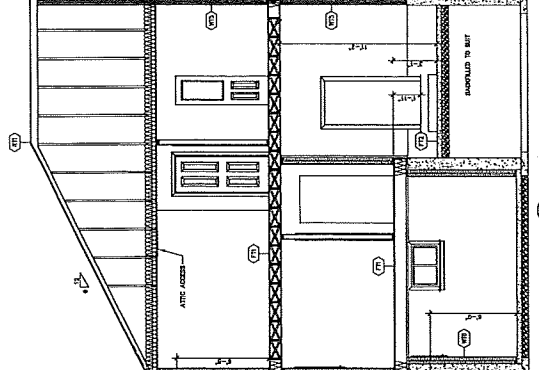
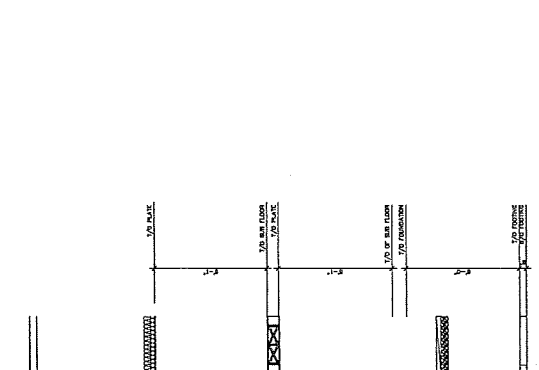
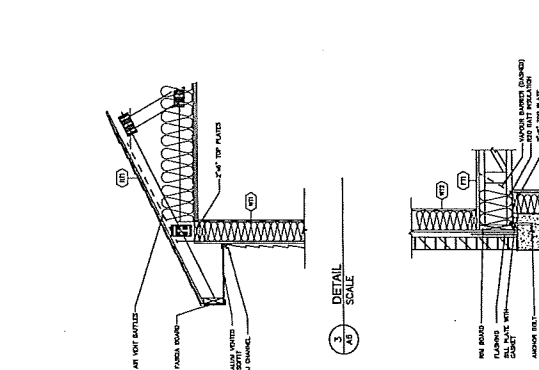
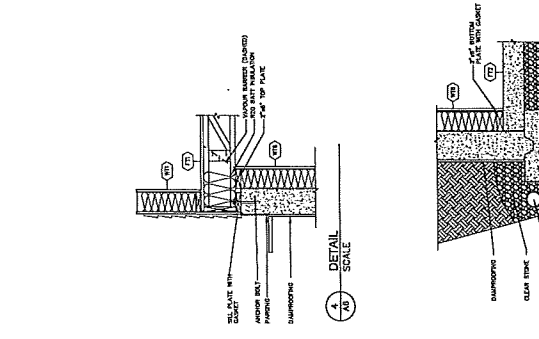
LOCATION:  
 70 HICKORY ST. GANANOQUE ON

FOR:  
 LABREY PATTERSON

DRAWING:  
**SECTIONS & DETAILS**

DWG. BY:	SCALE	DRAWING No.
DATE	1/4" = 1'-0"	A6
DATE	SEPT 2020	
DATE		

PROJECT No. 2020-16



NOTES:  
 1. VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.  
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 3. VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.  
 4. VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

**LEGEND**

ASPHALT	EXISTING WATER
CONCRETE	EXISTING GAS CABLE
PROPOSED SANITARY	EXISTING BELL CABLE
PROPOSED WATERMAIN	EXISTING UNDERGROUND
PROPOSED SWALE	EXISTING DRAIN
PROPOSED GAS	EXISTING FENCE
PROPOSED DRAIN	EXISTING CL CUB
EXISTING SANITARY	EXISTING STORM MAIN CUB
EXISTING WATER	EXISTING SANITARY MAN
EXISTING GAS CABLE	EXISTING HYDRANT VALVE
EXISTING BELL CABLE	EXISTING DEODOROUS COMPRESSOR TREE
EXISTING UNDERGROUND	REMARK
EXISTING DRAIN	BENCHMARK
EXISTING FENCE	WELL
EXISTING CL CUB	EXISTING GRAB
EXISTING STORM MAIN CUB	PROPOSED DOWNPOUT
EXISTING SANITARY MAN	
EXISTING HYDRANT VALVE	
EXISTING DEODOROUS COMPRESSOR TREE	
REMARK	
BENCHMARK	
WELL	
EXISTING GRAB	
PROPOSED DOWNPOUT	

**SEWER SERVICE CONNECTIONS FOR MAIN PIPE SEWER**

**NOTES:**

- Sanitary manholes shall be constructed to meet the minimum depth of 1.5m.
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**TRENCH REINFORCEMENT FOR UTILITY TRENCH**

**NOTES:**

- As shown on this drawing, trench reinforcement shall be provided for all trench widths of 1.0m or greater.
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**DOUBLE SANITARY STORM AND WATER SERVICE PIPES IN COMMON TRENCH**

**NOTES:**

- As shown on this drawing, trench reinforcement shall be provided for all trench widths of 1.0m or greater.
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**CONCRETE CURB WITH STANDARD GUTTER**

**NOTES:**

- As shown on this drawing, concrete curb shall be provided for all gutter widths of 1.0m or greater.
- As shown on this drawing, concrete curb shall be provided for all gutter widths of 1.0m or greater.
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**GENERAL:**

- Access shall be provided to all services with consent from the respective utility owners.
- Construction shall be completed in accordance with the Ontario Provincial Standard Code and the Municipal Right of Way.
- Construction shall be completed in accordance with the Ontario Provincial Standard Code and the Municipal Right of Way.
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**Forefront Engineering Inc.**

70 Hickory Street  
 1st Floor  
 Toronto, Ontario M5G 1A2  
 Tel: (416) 923-1111  
 Fax: (416) 923-1112  
 Email: info@fforefront.com

Project: **70 HICKORY STREET**  
 Client: **LARRY PATTERSON**  
 Date: **2024-10-10**

